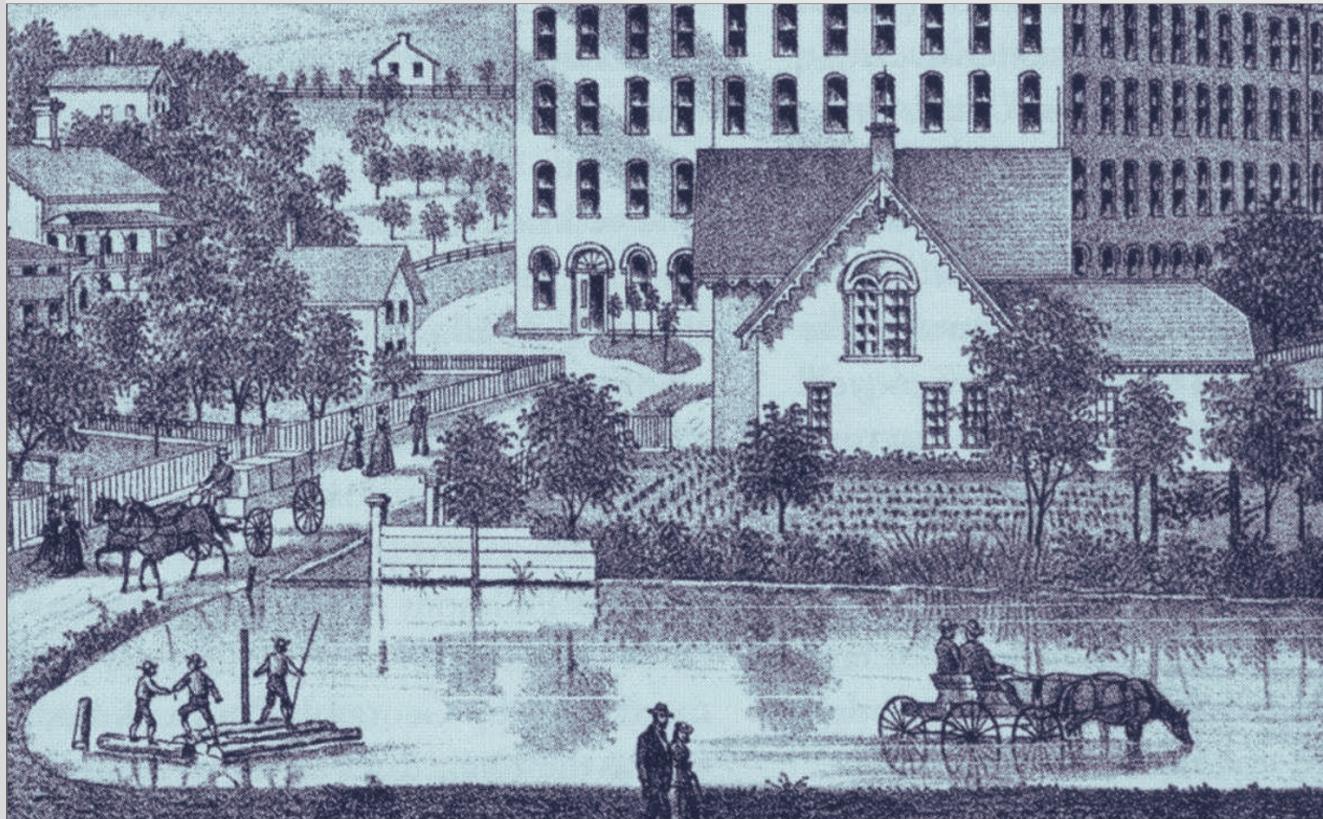




# VILLAGE OF PHILMONT

*Columbia County, NY*



**Capital New York Region**  
DRI Round 9 and NY Forward Round 4 Application

**Village of Philmont, Columbia County**  
Brian Johnson, Mayor, [clerk@philmont.org](mailto:clerk@philmont.org)  
PRO HOUSING CERTIFIED

# Welcome “Team Philmont”

## Thank you for attending

### the

## 3rd DRI conversation!

The 1st and 2nd DRI conversation slide decks can be accessed on the Village of Philmont DRI webpage at: <https://philmont.org/downtown-revitalization-initiative/>



# AGENDA

This 3rd community conversation is intended to continue to talk about how we collaboratively build capacity to assemble a DRI / NY Forward application from a bottom-up, community-based, inclusive position. We will take a look at some explanatory NYS/DRI presentation slides mixed in with our own conversation slide topics.

- 1. Review of DRI & NY Forward map**
- 2. Review of DRI Vision Statement**
- 3. Review of final DRI budget**
- 4. Letters of Support**
- 5. DRI Survey conversation**



# Quick review of DRI program goals

## PROGRAM GOALS



Creating  
an active  
downtown



Attracting  
new  
businesses



Enhancing  
public  
spaces



Building  
a diverse  
population



Growing the  
local property  
tax base



Providing  
quality of life  
amenities



Reducing  
greenhouse  
gas emissions  
+ enhancing  
climate resiliency

5

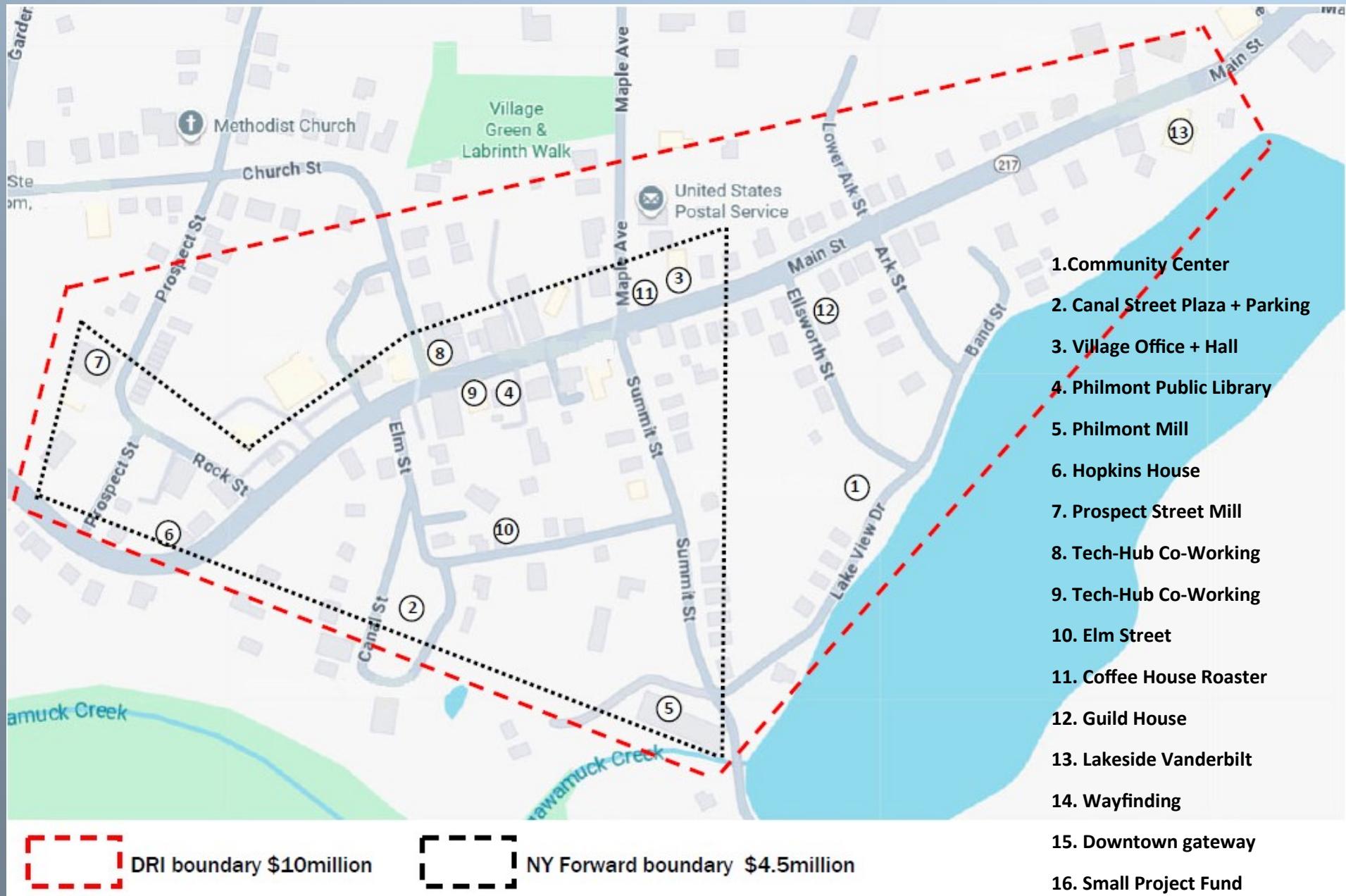
### PART 1: ABOUT THE DRI + NY FORWARD PROGRAMS



Downtown  
Revitalization  
Initiative

NY Forward

# 1. Review of DRI map with subset NY Forward map



# Vision for DRI area

**Philmont's DRI vision statement builds from  
3 existing planning visions:**

**2024 Comp Plan vision**

**2019 state-Designated BOA vision**

**2023 LWRP vision**

**Please use the DRI conversation handout  
to read the above 3 existing planning visions, and complete today's mini-survey for the  
DRI proposed vision statement**



# Let's talk Vision for DRI area

What makes a strong vision and a strong DRI application?

- Recognizes the historic context of the downtown or project location
- Involves synergies between different programs and stakeholders
- Creates a sense of place that is unique to each community
- Clearly adds activity and foot traffic to downtown
  - a. New housing units
  - b. New businesses and employment opportunities
  - c. New opportunities for visitors
  - d. New entertainment, leisure, arts, and culture activities

Philmont's close proximity to Hudson's downtown, its waterfront, arts & performance venues

Philmont's natural resources including Summit Lake, High Falls, and the incoming HVRT

Philmont's high % of young population



## 2. Review of DRI Vision Statement

The DRI downtown Philmont Rising area will activate its historic innovation and entrepreneurial spirit that connects the natural beauty of Summit Lake and its waterfront to propel a transformational revitalization in its mill village historic district, strengthens the social fabric of productive collaboration and welcomes small business creating a friendly, memorable hub of activity with a variety of shops, amenities, restaurants, event spaces, and conservation trails celebrating its history and nature as a walkable, compact, vibrant downtown. Located at the center of Columbia County, the DRI downtown offers residents, visitors, and small businesses the rural beauty and quality of life that cultivates an exceptional place to work, live, play and succeed. This transformational downtown will achieve all this building to its strength of multigenerational families, diverse population and affordability.

**130 words**

[Please use the DRI conversation handout to add your input for this Vision Statement](#)



### 3. Review of final DRI budget as of 10/10/25

|      | PROJECT NAME                             | DRI REQUEST | NY FORWARD REQUEST | TOTAL PROJECT COST ESTIMATE | CATEGORY         | FT NEW JOBS PRODUCED |
|------|--|-------------|--------------------|-----------------------------|------------------|----------------------|
| MAP# | MUNICIPAL PROJECTS                       |             |                    |                             |                  |                      |
| 1    | Community Center                         | 4,000,000   |                    | 12,476,635                  | Public           | 4                    |
| 2    | Canal St - parking lot / plaza           | 2,500,000   | 2,500,000          | 5,733,457                   | Public           |                      |
| 3    | Village office / Hall - decarbonization  | 700,000     | 700,000            | 2,000,000                   | Public           |                      |
| 4    | Philmont Public Library                  | 1,000,000   | 1,000,000          | 2,000,000                   | Public           | 2                    |
|      | PUBLIC IMPROVEMENT PROJECTS              |             |                    |                             |                  |                      |
| 14   | Branding, Marketing & Wayfinding signage | 200,000     | 150,000            | 200,000                     | Public           |                      |
| 15   | Main Street streetscape gateway          | 250,000     | 250,000            | 250,000                     | Public           |                      |
|      | Municipal Projects Sub-total             | 8,650,000   | 4,600,000          | 22,660,092                  |                  |                      |
|      | PRIVATE INVESTMENT PROJECTS              |             |                    |                             |                  |                      |
| 5    | Philmont Mill                            | 2,000,000   | 2,000,000          | 20,400,000                  | Public / Private | 22                   |
| 6    | Hopkins House                            | 415,000     | 415,000            | 3,700,000                   | Public / Private | 5                    |
| 7    | Prospect St Mill                         | 350,000     | 350,000            | 1,000,000                   | Private          | 2                    |
| 8    | Tech-hub co-working - 100 Main           | 325,000     | 325,000            | 821,650                     | Private          | 2                    |
| 9    | Tech-hub co-working - 97 Main            | 325,000     | 325,000            | 821,650                     | Private          | 7                    |
| 10   | Elm St #16                               | 75,000      |                    | 200,000                     | Private          |                      |
| 11   | Coffee House roaster - 120 Main          | 125,000     | 125,000            | 145,000                     | Private          | 2                    |
| 12   | Guild House - 4 Ellsworth St             | 650,000     |                    | 750,000                     | Private          | 2                    |
| 13   | Vanderbilt Lakeside                      | 80,000      |                    | 120,000                     | Private          |                      |
| 16   | Small Project Improvement Fund           | 600,000     | 600,000            | 800,000                     | Private          | 3                    |
|      | Private Projects Sub-total               | 4,945,000   | 4,140,000          | 28,758,300                  |                  |                      |
|      | TOTALS                                   | 13,595,000  | 8,740,000          | 51,418,392                  |                  | 51                   |

## 4. Letters of Support

- A) County Supervisor - Town of Claverack
- B) State elected officials - Assemblymember Didi Barrett
- C) Congressional Representative - Josh Riley
- D) Local organizations - CEDC, CLC, Partners for Climate Action HV, BCF,
- E) County/regional businesses, TBGC, Community Bank, Ed Herrington's,
- F) Philmont's local businesses
- G) DRI project participants

Let me know if you want a **Letter of Support** guideline template!

Letters of support should demonstrate the commitment among local leaders and stakeholders to advancing the community's vision, participating in the DRI/NYF planning process, and supporting the implementation of the DRI/NYF grant program. **SEND YOUR LETTERS BY NOV 1ST - [info@pbinc.org](mailto:info@pbinc.org)**



## 5. DRI Survey

If you have time today  
we could take a look at the DRAFT of the Survey  
your input is welcome!

**SURVEY IS INTENDED FOR RELEASE TOMORROW**

# THANK YOU TEAM PHILMONT!

Any questions - email them to PBI at [info@pbinc.org](mailto:info@pbinc.org)



# DRI / NY Forward RESOURCES

**FOR MORE INFORMATION VISIT:**

[WWW.NY.GOV/PROGRAMS/NY-FORWARD](http://WWW.NY.GOV/PROGRAMS/NY-FORWARD)

[WWW.NY.GOV/PROGRAMS/DOWNTOWN-REVITALIZATION-INITIATIVE](http://WWW.NY.GOV/PROGRAMS/DOWNTOWN-REVITALIZATION-INITIATIVE)

**CHECK OUT DRI CASE STUDIES:**

[WWW.NY.GOV/DOWNTOWN-REVITALIZATION-INITIATIVE/DRI-FOCUS-CASE-STUDIES-SUCCESSFUL-DRI-COMMUNITIES-PROJECTS#BROWNFIELD RE DEVELOPMENT](http://WWW.NY.GOV/DOWNTOWN-REVITALIZATION-INITIATIVE/DRI-FOCUS-CASE-STUDIES-SUCCESSFUL-DRI-COMMUNITIES-PROJECTS#BROWNFIELD RE DEVELOPMENT)

**OTHER WEBINARS:**

[WWW.NY.GOV/NY-FORWARD/CAPACITY-BUILDING-WEINARS](http://WWW.NY.GOV/NY-FORWARD/CAPACITY-BUILDING-WEINARS)



Downtown  
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NY Forward

