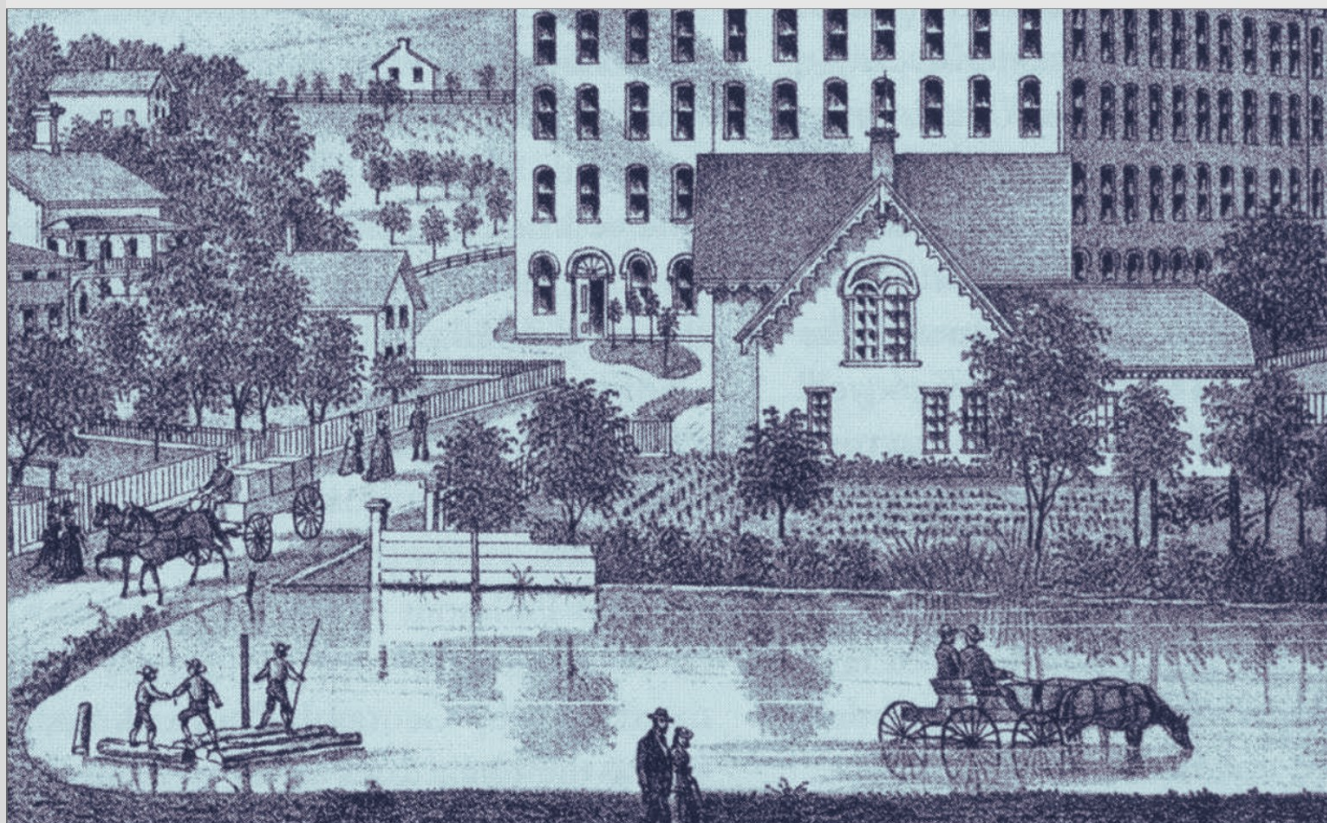




VILLAGE OF PHILMONT

Columbia County, NY



Capital New York Region
DRI Round 9 and NY Forward Round 4 Application

Village of Philmont, Columbia County
Brian Johnson, Mayor, clerk@philmont.org
PRO HOUSING CERTIFIED

VILLAGE OF
PHILMONT
NEW YORK

25th
Year!

PBInc.org
Housing Programs
Food Program
Small Business
Main Street Program
Community-Based Revitalization



Welcome “Team Philmont”

Thank you for attending the 3rd DRI conversation!

The 1st and 2nd DRI conversation slide decks can be accessed on the Village of Philmont DRI webpage at: <https://philmont.org/downtown-revitalization-initiative/>

AGENDA

This 3rd community conversation is intended to continue to talk about how we collaboratively build capacity to assemble a DRI / NY Forward application from a bottom-up, community-based, inclusive position. We will take a look at some explanatory NYS/DRI presentation slides mixed in with our own conversation slide topics.

- 1. Review of DRI & NY Forward map**
- 2. Review of DRI Vision Statement**
- 3. Review of final DRI budget**
- 4. Letters of Support**
- 5. DRI Survey conversation**

Quick review of DRI program goals

PROGRAM GOALS



Creating
an active
downtown



Attracting
new
businesses



Enhancing
public
spaces



Building
a diverse
population



Growing the
local property
tax base



Providing
quality of life
amenities



Reducing
greenhouse
gas emissions
+ enhancing
climate resiliency

PART 1: ABOUT THE DRI + NY FORWARD PROGRAMS

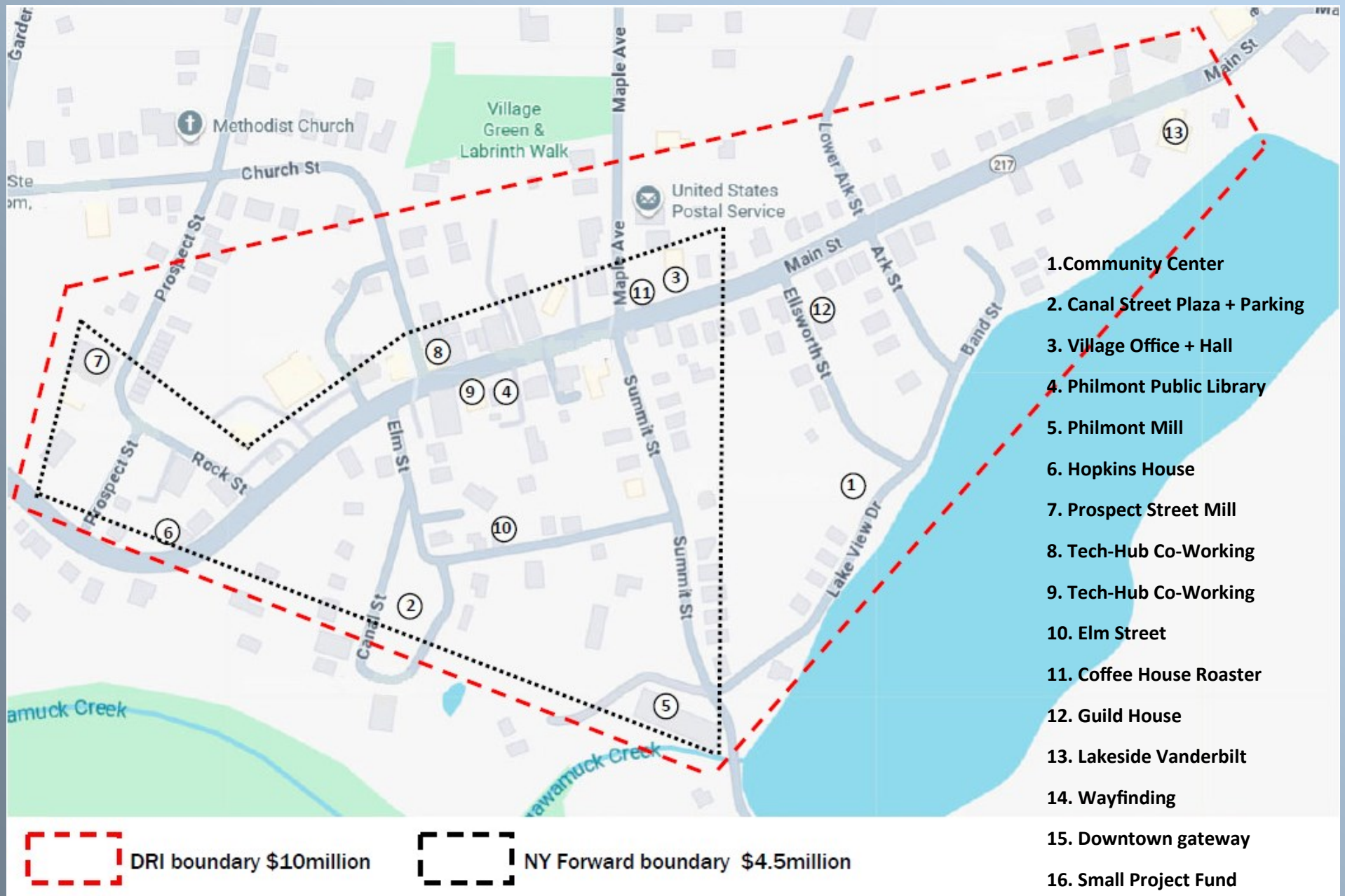
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**Downtown
Revitalization
Initiative**

NY Forward

1. Review of DRI map with subset NY Forward map



Vision for DRI area

**Philmont's DRI vision statement builds from
3 existing planning visions:**

2024 Comp Plan vision

2019 state-Designated BOA vision

2023 LWRP vision

**Please use the DRI conversation handout
to read the above 3 existing planning visions, and complete today's mini-survey for the
DRI proposed vision statement**

Let's talk Vision for DRI area

What makes a strong vision and a strong DRI application?

Recognizes the historic context of the downtown or project location

Involves synergies between different programs and stakeholders

Creates a sense of place that is unique to each community

Clearly adds activity and foot traffic to downtown

- a. New housing units
- b. New businesses and employment opportunities
- c. New opportunities for visitors
- d. New entertainment, leisure, arts, and culture activities

Philmont's close proximity to Hudson's downtown, its waterfront, arts & performance venues

Philmont's natural resources including Summit Lake, High Falls, and the incoming HVRT

Philmont's high % of young population

2. Review of DRI Vision Statement

The DRI downtown Philmont Rising area will activate its historic innovation and entrepreneurial spirit that connects the natural beauty of Summit Lake and its waterfront to propel a transformational revitalization in its mill village historic district, strengthens the social fabric of productive collaboration and welcomes small business creating a friendly, memorable hub of activity with a variety of shops, amenities, restaurants, event spaces, and conservation trails celebrating its history and nature as a walkable, compact, vibrant downtown. Located at the center of Columbia County, the DRI downtown offers residents, visitors, and small businesses the rural beauty and quality of life that cultivates an exceptional place to work, live, play and succeed. This transformational downtown will achieve all this building to its strength of multigenerational families, diverse population and affordability.

130 words

[Please use the DRI conversation handout to add your input for this Vision Statement](#)

3. Review of final DRI budget as of 10/10/25

	PROJECT NAME	DRI REQUEST	NY FORWARD REQUEST	TOTAL PROJECT COST ESTIMATE	CATEGORY	FT NEW JOBS PRODUCED
MAP#	MUNICIPAL PROJECTS					
1	Community Center	4,000,000		12,476,635	Public	4
2	Canal St - parking lot / plaza	2,500,000	2,500,000	5,733,457	Public	
3	Village office / Hall - decarbonization	700,000	700,000	2,000,000	Public	
4	Philmont Public Library	1,000,000	1,000,000	2,000,000	Public	2
	PUBLIC IMPROVEMENT PROJECTS					
14	Branding, Marketing & Wayfinding signage	200,000	150,000	200,000	Public	
15	Main Street streetscape gateway	250,000	250,000	250,000	Public	
	Municipal Projects Sub-total	8,650,000	4,600,000	22,660,092		
	PRIVATE INVESTMENT PROJECTS					
5	Philmont Mill	2,000,000	2,000,000	20,400,000	Public / Private	22
6	Hopkins House	415,000	415,000	3,700,000	Public / Private	5
7	Prospect St Mill	350,000	350,000	1,000,000	Private	2
8	Tech-hub co-working - 100 Main	325,000	325,000	821,650	Private	2
9	Tech-hub co-working - 97 Main	325,000	325,000	821,650	Private	7
10	Elm St #16	75,000		200,000	Private	
11	Coffee House roaster - 120 Main	125,000	125,000	145,000	Private	2
12	Guild House - 4 Ellsworth St	650,000		750,000	Private	2
13	Vanderbilt Lakeside	80,000		120,000	Private	
16	Small Project Improvement Fund	600,000	600,000	800,000	Private	3
	Private Projects Sub-total	4,945,000	4,140,000	28,758,300		
	TOTALS	13,595,000	8,740,000	51,418,392		51

4. Letters of Support

- A) County Supervisor - Town of Claverack ✓
- B) State elected officials - Assemblymember Didi Barrett ✓
- C) Congressional Representative - Josh Riley ✓
- D) Local organizations - CEDC, CLC, Partners for Climate Action HV, BTCF,
- E) County/regional businesses, TBGC, Community Bank, Ed Herrington's,
- F) Philmont's local businesses
- G) DRI project participants ✓

Let me know if you want a Letter of Support guideline template!

Letters of support should demonstrate the commitment among local leaders and stakeholders to advancing the community's vision, participating in the DRI/NYF planning process, and supporting the implementation of the DRI/NYF grant program. **SEND YOUR LETTERS BY NOV 1ST - info@pbinc.org**

5. DRI Survey

**If you have time today
we could take a look at the DRAFT of the Survey
your input is welcome!**

SURVEY IS INTENDED FOR RELEASE TOMORROW

THANK YOU TEAM PHILMONT!

Any questions - email them to PBI at info@pbinc.org

DRI / NY Forward RESOURCES

FOR MORE INFORMATION VISIT:

WWW.NY.GOV/PROGRAMS/NY-FORWARD

WWW.NY.GOV/PROGRAMS/DOWNTOWN-REVITALIZATION-INITIATIVE

CHECK OUT DRI CASE STUDIES:

WWW.NY.GOV/DOWNTOWN-REVITALIZATION-INITIATIVE/DRI-FOCUS-CASE-STUDIES-SUCCESSFUL-DRI-COMMUNITIES-PROJECTS#BROWNFIELD_REDEVELOPMENT

OTHER WEBINARS:

WWW.NY.GOV/NY-FORWARD/CAPACITY-BUILDING-WEBINARS

